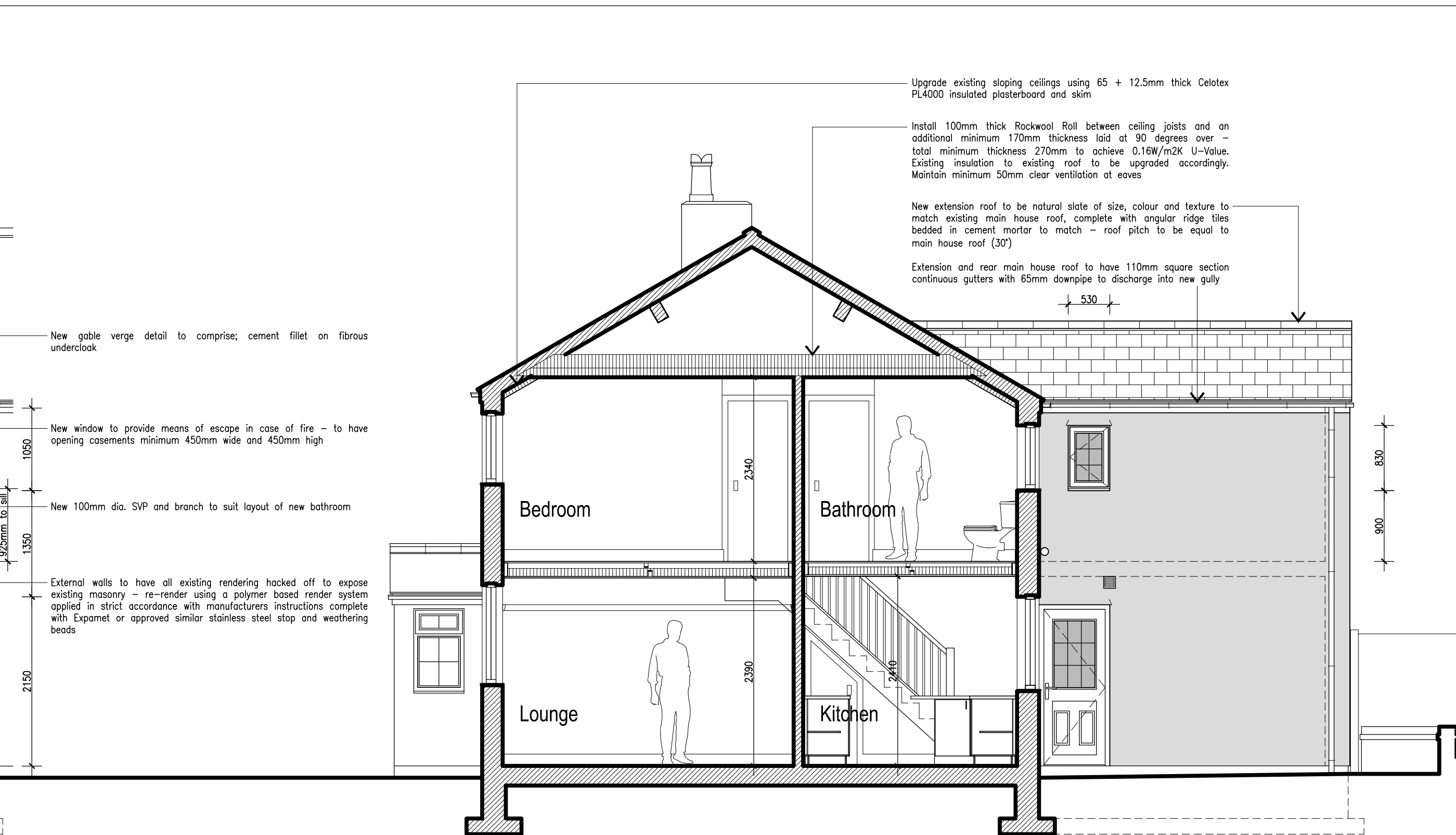
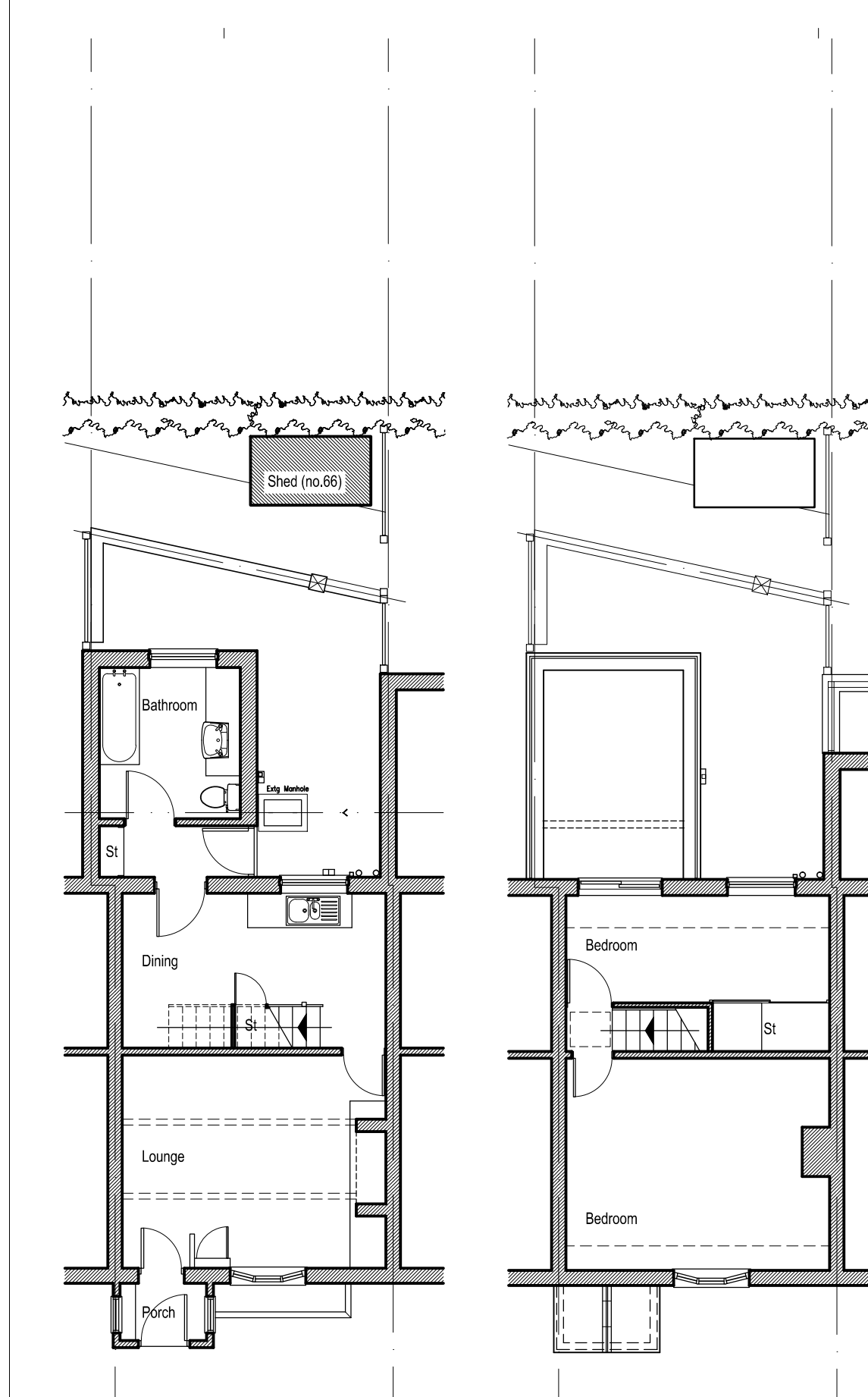


Front Elevation

Rear Elevation

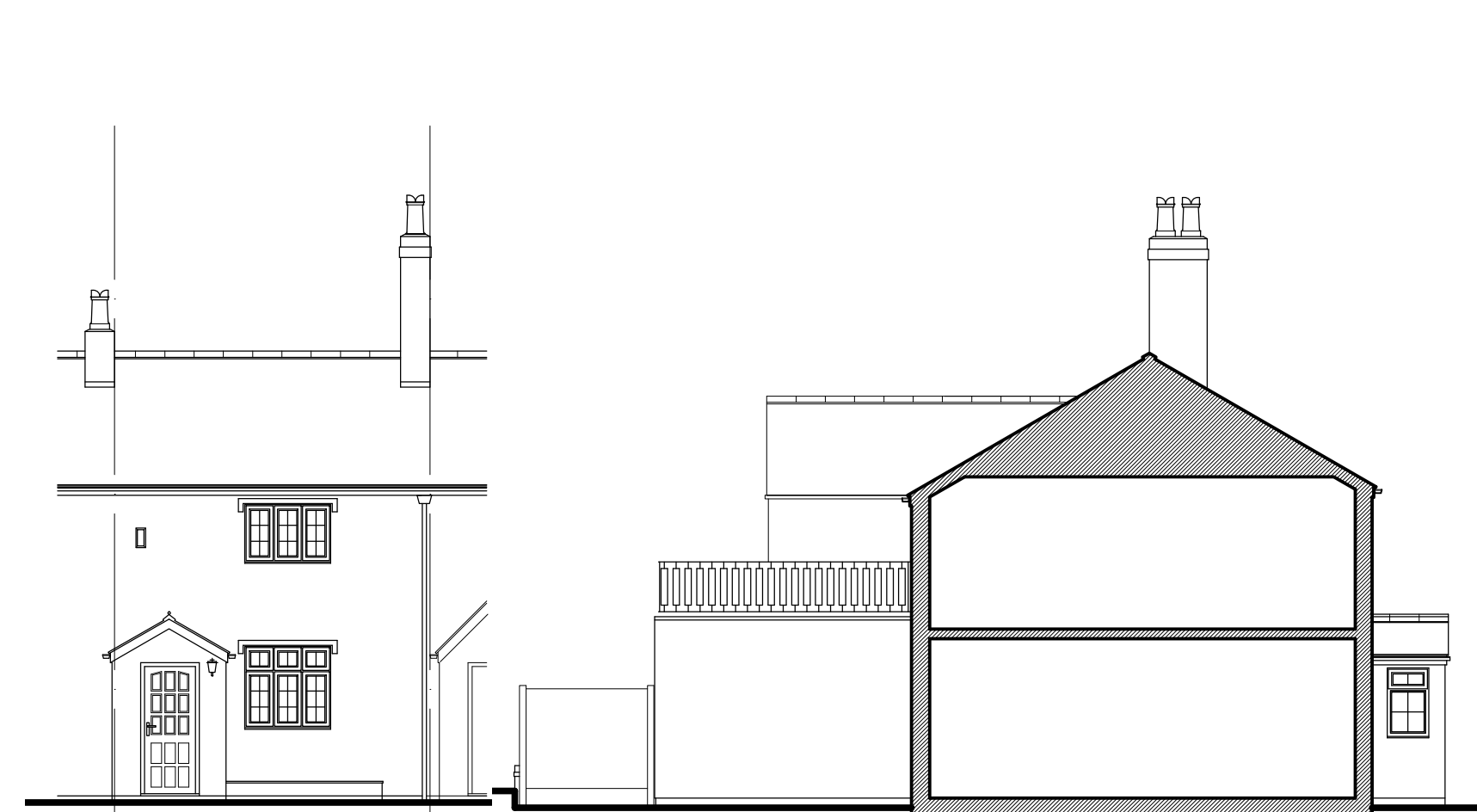


Side Elevation/Section



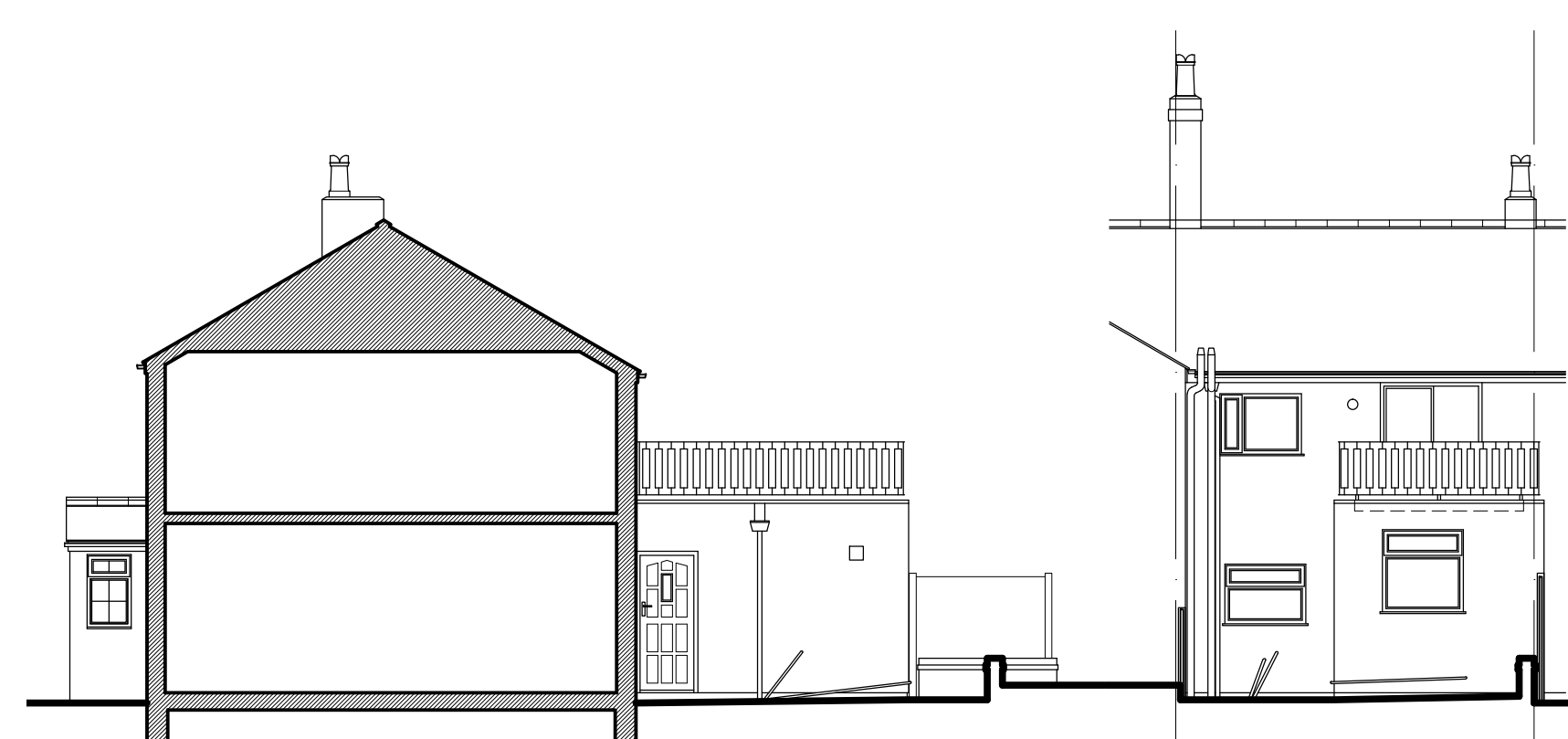
Ground Floor

First Floor



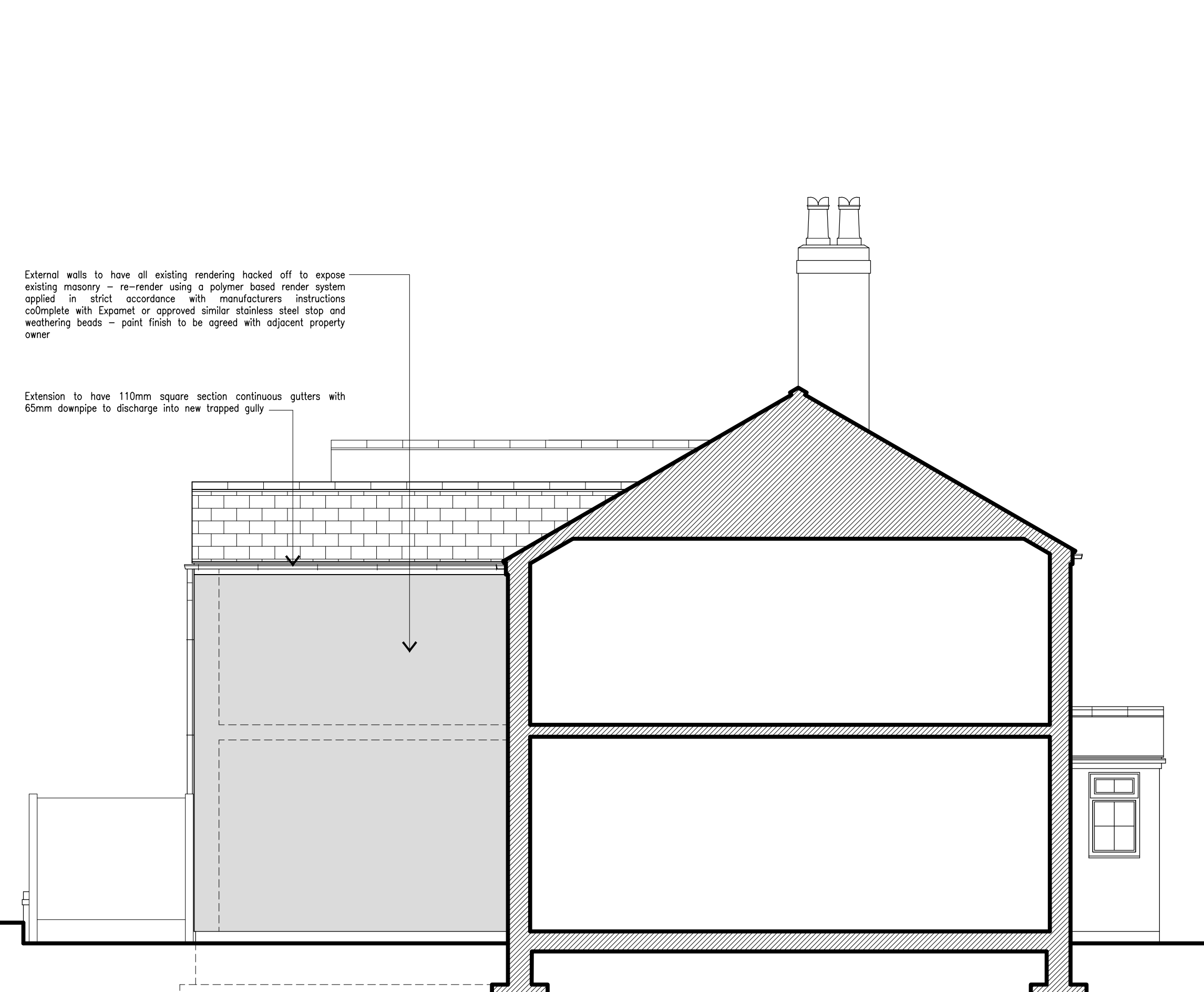
Front Elevation

Side Elevation



Side Elevation

Rear Elevation



Side Elevation

First Floor Construction:
 Floor to extension to comprise; ex 25 x 125mm thick tongue and groove floor boards on new 50 x 150mm (strength grade C16) floor joists at 400mm centres supported on galvanneal steel sleeve type hangers screw fixed where they abut new 50 x 150mm wallplates to be plugged and screwed to blockwork face at 600mm centres. All underdrain with 12.5mm thick moisture resistant plasterboard and skim finish.
 Provide 1800 x 30 x 5mm galvanneal steel tie down straps at 1800mm centres to end three joists where they run parallel with blockwork supported with 75 x 50mm bearers fixed between joists.
 Existing house first floor joists to be completely removed and replaced with ex 50 x 150mm and 63 x 170mm (strength grade C16) floor joists with floor boards as above and underdrain with 12.5mm thick plasterboard and skim finish.
 Provide and install Expamet or approved similar herringbone joist struts fixed using 3.75 x 30mm sheradised square twisted nails at joist mid-span.
 Install 100mm thick Rockwool Flexi sound insulation slabs or approved similar between all first floor joists.
 See First Floor Joist layout for further information.

Foundations:
 Existing foundations to existing external walls to be exposed to establish their size and suitability to the complete satisfaction of the building control officer.

Windows and Doors:
 Provide and fix double glazed white pvcu casement window frames. Casements to give 1/20th room floor area openable ventilation, fitted with approved and controllable trickle ventilator to give 2500mm2 free air, 28mm thick double glazing units internally beaded to comprise: 7.4mm thick glass inside, incorporating Pilkington 'X' glass and standard 6.4mm thick glass on outside. All glazing to new doors and windows with cill level less than 800mm to have toughened safety glass in accordance with BS 6206.
 New external doors to be double glazed white pvcu slide and swing type door system. All window and doors manufactured by Decunick Limited or equal approved similar.

Drainage:
 Where shown, all underground pipework to be removed and connection made good to maintain integrity of remaining drains.
 Install new 100mm dia. pvcu stub stack to be terminated with air admittance valve. WC to have 100mm dia. pvcu waste and WHB to have 32mm dia pvcu waste connections. WHB to have 75mm deep seal water trap.
 New sink unit, shower and bath to have 40mm pvcu waste outlets, WHB's to have 32mm pvcu waste outlets, all to discharge into new SVP and trapped gully complete with rodding access. Sink and WHB to have 75mm and shower and bath to have 50mm deep seal water traps.
 Provide 110mm square section rainwater gutters with 65mm downpipes to discharge into new and existing trapped gullies. New gully to have rodding access.
 New underground drainage to be 100mm dia. Hepworth Supersleeve clayware pipes or approved similar with all couplings and adaptors, etc deemed necessary to complete the drainage installation. All new connections to be made in the direction of existing flow.
 Pipes to be laid to 1/40 falls in to the full satisfaction of the Building Control officer. Hand trim the trench bottom with a spade to support the pipe along the length of its barrel, allowing for any socket recesses, lay pipework and carefully back fill with suitable granular material (10mm size or less).
 Drainage trenches within 1 metre of load bearing walls to be filled with concrete at least to level of underside of the foundation. Where the distance is more than 1 metre from the wall, the concrete fill should be to a level below the underside of the foundation equal to the distance from the wall to nearside of trench, less 150mm.

Mechanical Ventilation:
 Kitchen mechanical extract fan to give 60 litres per second extraction or 30 litres per second if installed adjacent to the hob, both of which may be operated intermittently. Bathroom to have mechanical extract fan to give 15 litres per second extraction, WC to give 6 litres, both of which may be operated intermittently. WC fan to have 15 minute over-run facility. All mechanical extract fans to meet the standards of BS EN 13141-4 clause 4 performance test methods.

Electrical Installation:
 All electrical design and installation works shall be in strict accordance and compliance with the Electricity at Work Regulations 1989 as amended. On completion, the contractor shall provide the owner with an electrical installation certificate in full accordance with BS 7671 (EE Wiring Regulations).

Fire Detection:
 Provide and install smoke/heat detectors in locations shown on plans to be inter-connected and permanently wired to a separately fused circuit at the distribution board. Kitchen to have heat detector.

Thermal Conductivity:
 The Kingspan and Celotex insulating products incorporated within the warm roof, cavity walls and solid ground floor slabs have been specified using the Kingspan/Celotex Technical Services U-Value tables.

Party Wall Act:
 It is noted the extent of the proposed works detailed on this drawing are covered by the relevant sections of the Party Wall Act. You are therefore obliged to serve the appropriate notice(s) to the adjacent property owners. Note there are minimum notice periods and procedures to be complied with within the terms of the Act. More information can be found at: www.gov.uk/party-wall-etc-act-1996-guidance

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Status: Building Regulations

Client:

Project:
Proposed Rear Extension and Internal Alterations

Title:
Existing and Proposed Layout (2 of 2)

Scale: 1/50 & 1/100@ A1 Date: February 2015 Drawn: Rob Sherwood

Drawing Number: 2014-09-03.2 Revision:

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