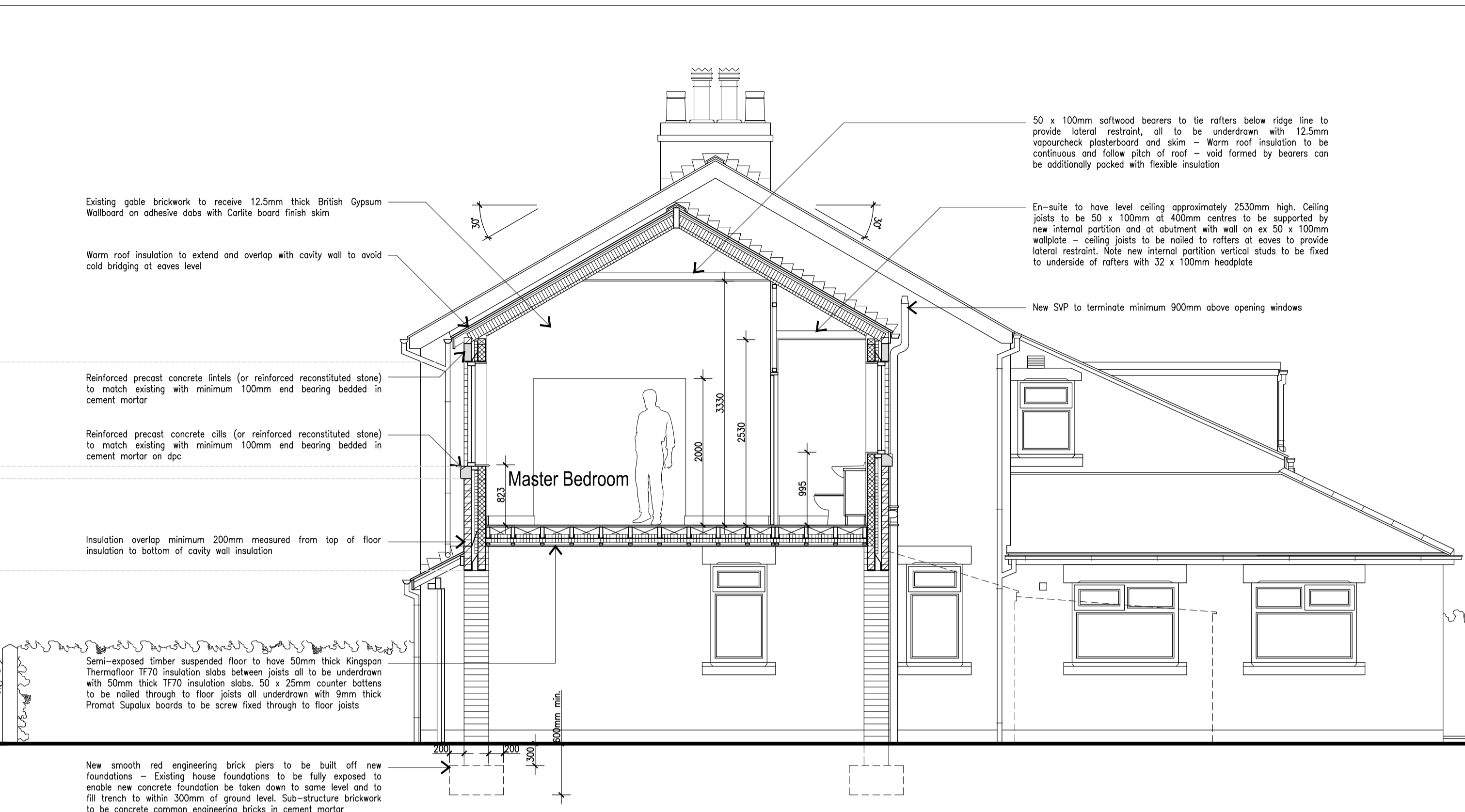
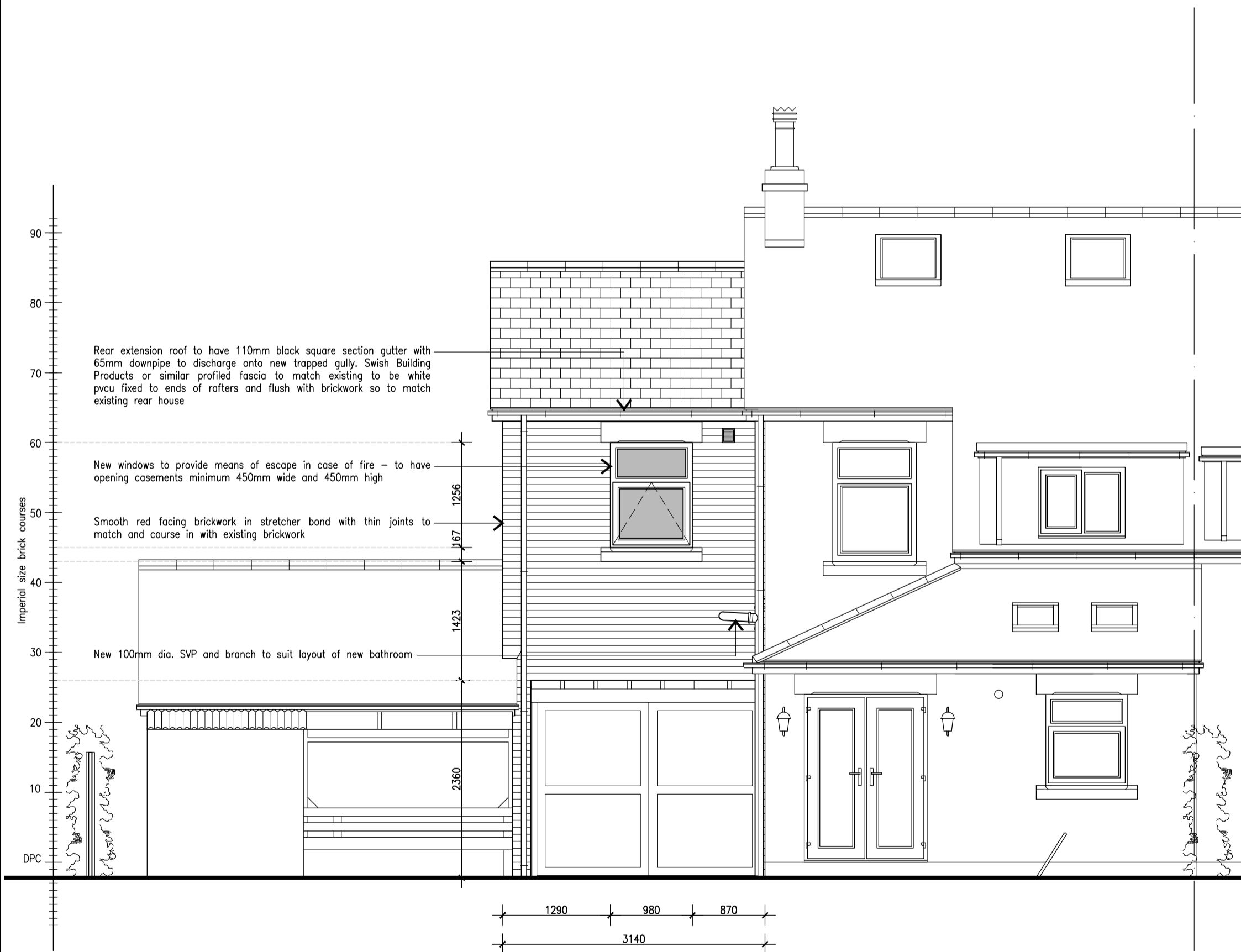


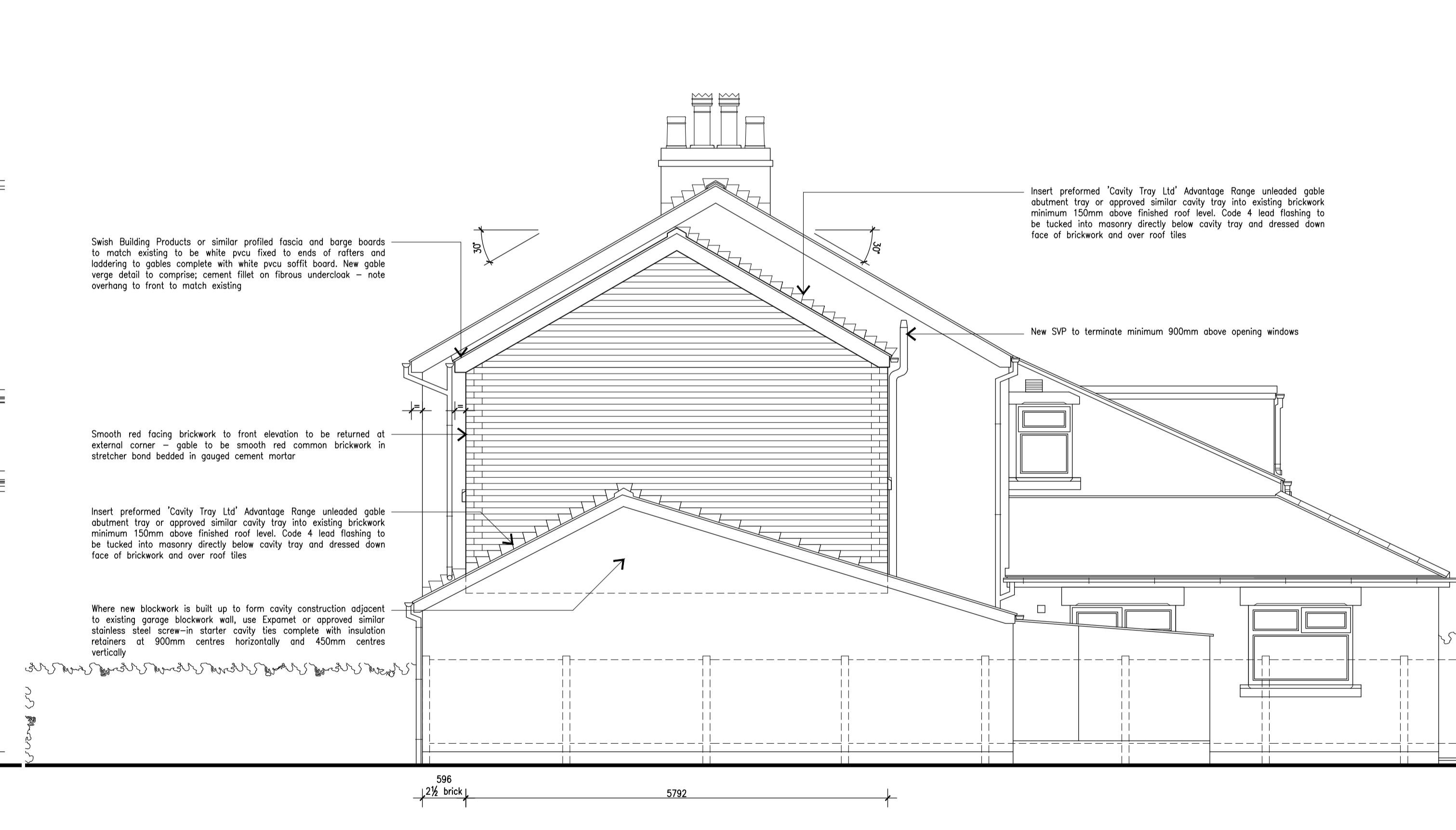
Front Elevation



Section A-A



Rear Elevation



Side Elevation

**Foundations:**  
To be 700 x 200mm thick grade C20P concrete pad foundations built off firm load bearing strata minimum 600mm below finished ground level to the complete satisfaction of the building control officer.  
Depth to correspond with invert levels of all drains within 1000mm range (which ever is greater).  
Existing foundations to existing external walls to be exposed to establish their size and suitability to the complete satisfaction of the building control officer.

**Windows:**  
Provide and fix double glazed white PVCU casement window frames. Casements to give 1/20th room floor area operable ventilation, fitted with approved and controllable trickle ventilator to give 2500mm<sup>2</sup> free air. 28mm thick double glazing units internally beaded to comprise: 7.4mm thick glass inside, incorporating Pilkington 'K' glass and standard 6.4mm thick glass on outside, all glazing to new doors and windows with call level less than 600mm to have toughened safety glass in accordance with BS 6206.  
All window and doors manufactured by Decunick Limited or equal approved similar.

**Drainage:**  
Where shown, all underground pipework to be removed and connection made good to maintain integrity of remaining drains.  
New shower to have 40mm PVCU waste outlet, WHB to have 32mm PVCU waste outlet, all to discharge into new 100mm dia. SVP. WHB to have 75mm and shower 50mm deep seal water traps.  
Provide 110mm round/square section rainwater gutters with 65mm downpipes to discharge into new trapped gullies complete with rodding access.  
New underground drainage to be 100mm dia. Hepworth Supersleeve clayware pipes or approved similar with all couplings and adaptors, etc deemed necessary to complete the drainage installation. All new connections to be made in the direction of existing flow.  
Pipes to be laid to 1/40 falls in to the full satisfaction of the Building Control Officer. Hand trim the trench bottom with a spade to support the pipe along the length of its barrel, allowing for any socket recesses, lay pipework and carefully back fill with suitable granular material (10mm size or less).  
Drainage trenches within 1 metre of load bearing walls to be filled with concrete at least to level of underside of the foundation. Where the distance is more than 1 metre from the wall, the concrete fill should be to a level below the underside of the foundation equal to the distance from the wall to nearside of trench, less 150mm.

**Mechanical Ventilation:**  
En-suite to have mechanical extract fan to give 15 litres per second extraction to be operated intermittently. All mechanical extract fans to meet the standards of BS EN 13141-4 clause 4 performance test methods.

**Electrical Installation:**  
All electrical design and installation works shall be in strict accordance and compliance with the Electricity at Work Regulations 1989 as amended. On completion, the contractor shall provide the owner with an electrical installation certificate in full accordance with BS 7671 (EE Wiring Regulations).

**Fire Detection:**  
Provide and install smoke/heat detectors in locations shown on plans to be inter-connected and permanently wired to a separately fused circuit at the distribution board.

**Thermal Conductivity:**  
The Kingspan/Gelesex insulating products incorporated within the warm roof, cavity walls and suspended first floor have been specified using their respective Technical guidance documents and their respective condensation calculations performed in accordance with BS 5250: 2011.

**Important Notice:**  
If it proposed to use any products on site during construction that differ from those specified on this drawing, then approval shall be sought by the enforcing Building Control Officer/Inspector prior to ordering and installation of said products - any alternative products will be required to equal performance of those specified

**Sherwood**  
Building Design Solutions

Rob Sherwood  
Domestic and Commercial Property Design Consultant With Over 25 Years Experience

4 Long Lane, Heath Charnock, Chorley, PR6 9EN  
E-mail: rob\_sherwood@sky.com

**T: 01257 481487**  
**M: 07854 847361**

Status: **Building Regulations**

Client:

Project:

Proposed First Floor Side Extension

Title:

Proposed Layout (2 of 2)

Scale: 1/50 @ A1 Date: March 2015 Drawn: Rob Sherwood

Drawing Number: **2015-01-02.2** Revision:

Copyright in this drawing is the property of Sherwood Building Design Solutions. It must not be reproduced or amended or used for the execution of any works whether in conjunction with the proposed works for which it is prepared or otherwise without express consent. Do not scale from this drawing. Original sheet size A1.